

City of Rancho Cucamonga

COMMERCIAL BROKERS ROUNDTABLE



RANCHO
CUCAMONGA

November 7, 2023

Agenda

1. Cucamonga Station Updates
2. Development Project Update
3. Economic Development Strategy (EDS)
4. Networking

Cucamonga Station



HAVEN

ARROW

ROCHESTER

TRANSIT



LIFE IN THE HART OF  RANCHO CUCAMONGA

Brightline West – Cucamonga Station



Brightline West – Apple Valley Station



Brightline West – Las Vegas Station



Brightline West - Funding

- **\$600M private funds have been invested to secure:**
 - All critical station land and alignment of right-of-way
 - Permits and environmental approvals
 - Engineering and pre-construction approvals
- **Ibank approved \$2 billion bond request** – Aug 2023
- **Applied for \$3.75 billion Fed-State Partnership Grant**
- **Remaining ~70% of funds will be privately funded**
- SBCTA received \$25M RAISE grant award to fund final design and construction of Hesperia and Apple Valley stations



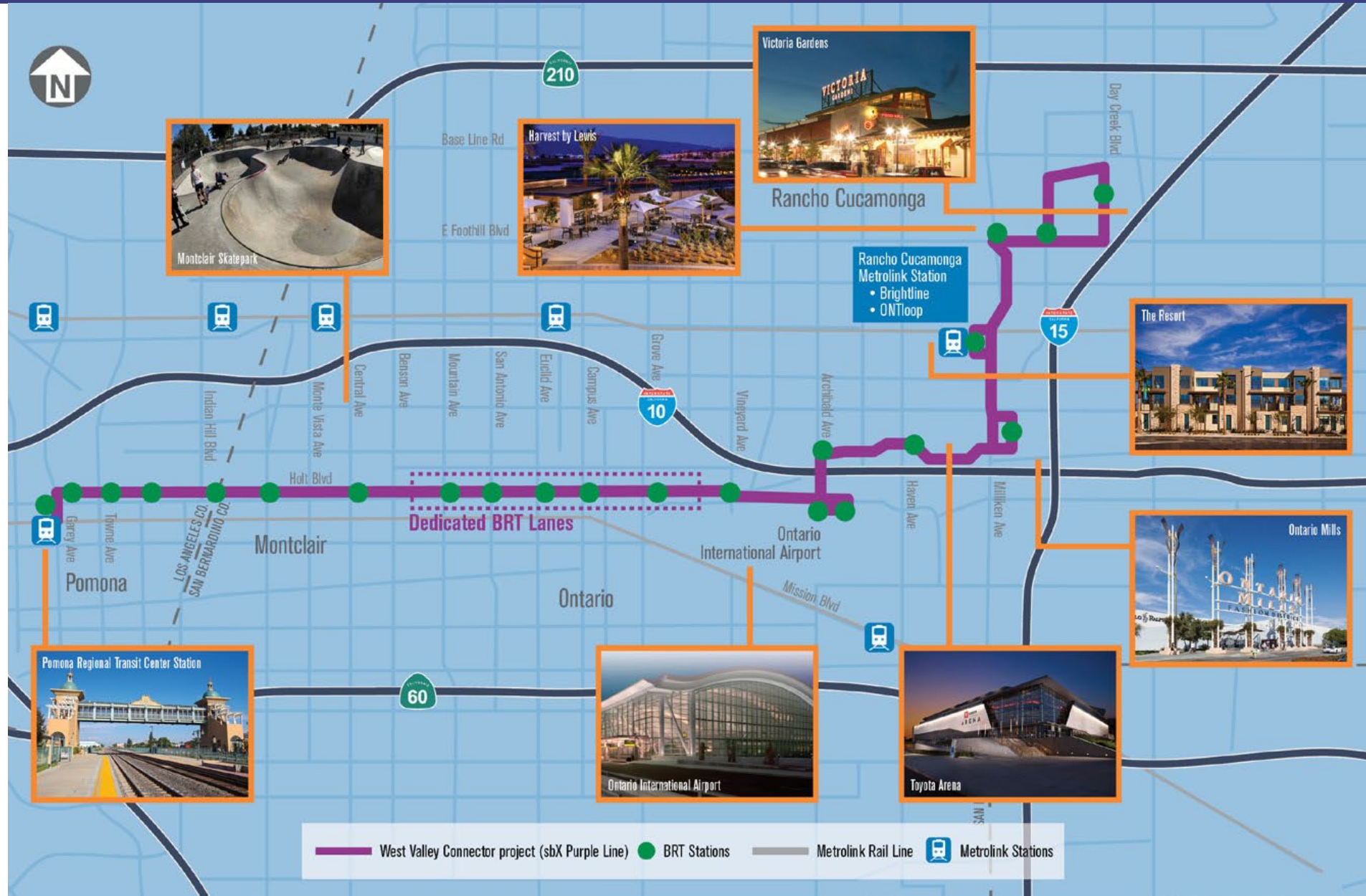
West Valley Connector – BRT



West Valley Connector Project Breaks Ground on Phase 1 of 19-Mile Bus Rapid Transit Service

West Valley Connector – BRT

- 100% zero-emission Bus Rapid Transit (BRT) will extend from Victoria Gardens to the Pomona Regional Transit Center
- 19-mile-long BRT corridor with 21 stations
- Broke ground Oct. 12, 2023
- Service is expected to begin in Spring 2026



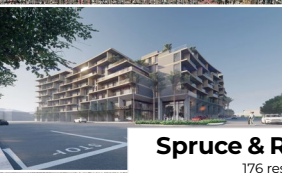
Tunnel to ONT Project



- **Alignment Length:** 4.2-mile-long tunnel
- **Connecting:** Cucamonga Station to Ontario International Airport
- **(3) Stations:** Cucamonga Station; ONT Terminal 2; and ONT Terminal 4
- **Vehicles:** Autonomous electric vehicles (fully driverless)
- **Operations:** On-demand
- **Maintenance Facility:** Located at Cucamonga Station
- **Control Center:** Located at Cucamonga Station

Development Project Update





Spruce & Red Oak
176 residential units
5,670 sf. non-residential
Entitlement Phase



Harvest at Terra Vista
671 residential units
20,000 sf. non-residential
Entitled



Alta-Etiwanda
327 residential units
7,650 sf. non-residential
Ready for Hearings



City Center
320 residential units
16,000 sf. non-residential
Entitled



Foothill Landing
367 residential units
3,973 sf. non-residential
Entitled



Haven + Arrow
248 residential units
23,750 sf. non-residential
Under Construction



The Resort
3,378 residential units
31,800 sf. non-residential
Under Construction



Alta Cuvee
260 residential units
3,339 sf. non-residential
Under Construction



The Collection
City of Ontario
248 residential units
23,750 sf. non-residential



Arena District
City of Ontario
694 residential units
63,000 sf. non-residential

Legend

- the HART District Boundaries
- 1.5 Mile Radius from Cucamonga Station
- City Boundaries

Map Not To Scale

Haven + Arrow

8500 Haven Ave.

Broke ground July 2023
248 residential units
23,750 sf. non-residential



Haven + Arrow

8500 Haven Ave.

Broke ground July 2023

248 residential units

23,750 sf. non-residential



Alta-Cuvee

12915 Foothill Blvd.

Under Construction
259 residential units
3,069 sf. non-residential



Alta-Cuvee

12915 Foothill Blvd.

Under Construction
259 residential units
3,069 sf. non-residential



Sanctity Hotel

Tapestry Collection By Hilton

12255 Base Line Rd.

Under Construction
68 Room Keys
Opening Spring 2024



Sanctity Hotel

Tapestry Collection By Hilton

12255 Base Line Rd.

Under Construction
68 Room Keys
Opening Spring 2024



Entitled – August 2023

360 residential units

4,200 sf. non-residential and 3,100 sf. live/work

Foothill Landing

Northeast Corner of Foothill Blvd. and Etiwanda Ave. 8011 Etiwanda



Reyes Coca-Cola

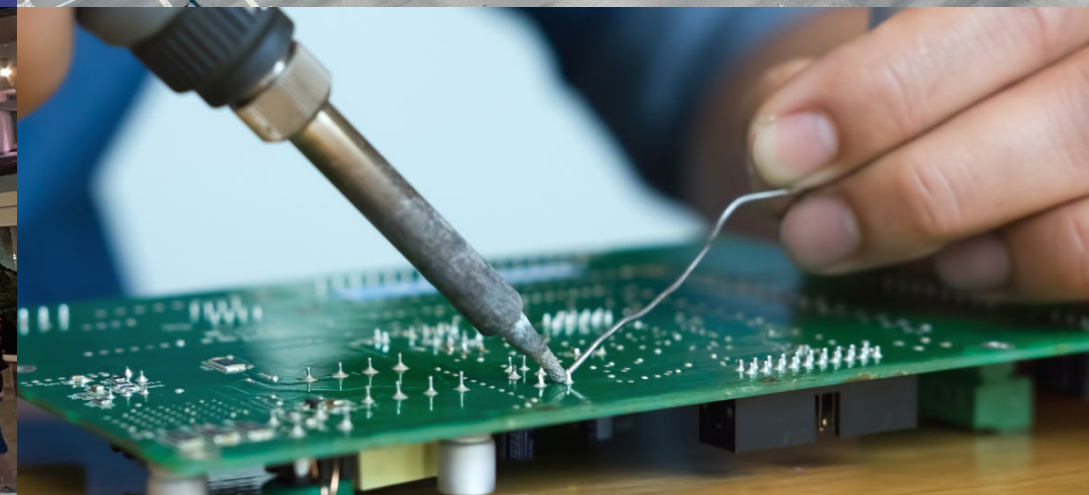
10670 6th St.

Entitlement Phase

Warehouse, Manufacturing and Office Campus



Economic Development Strategy



Economic Development Strategy



GOAL 1

Grow and Diversify the City's Economy



GOAL 2

Enhance the Quality of Life

GOAL 4

Foster Growth of Local Businesses and Workforce

GOAL 3

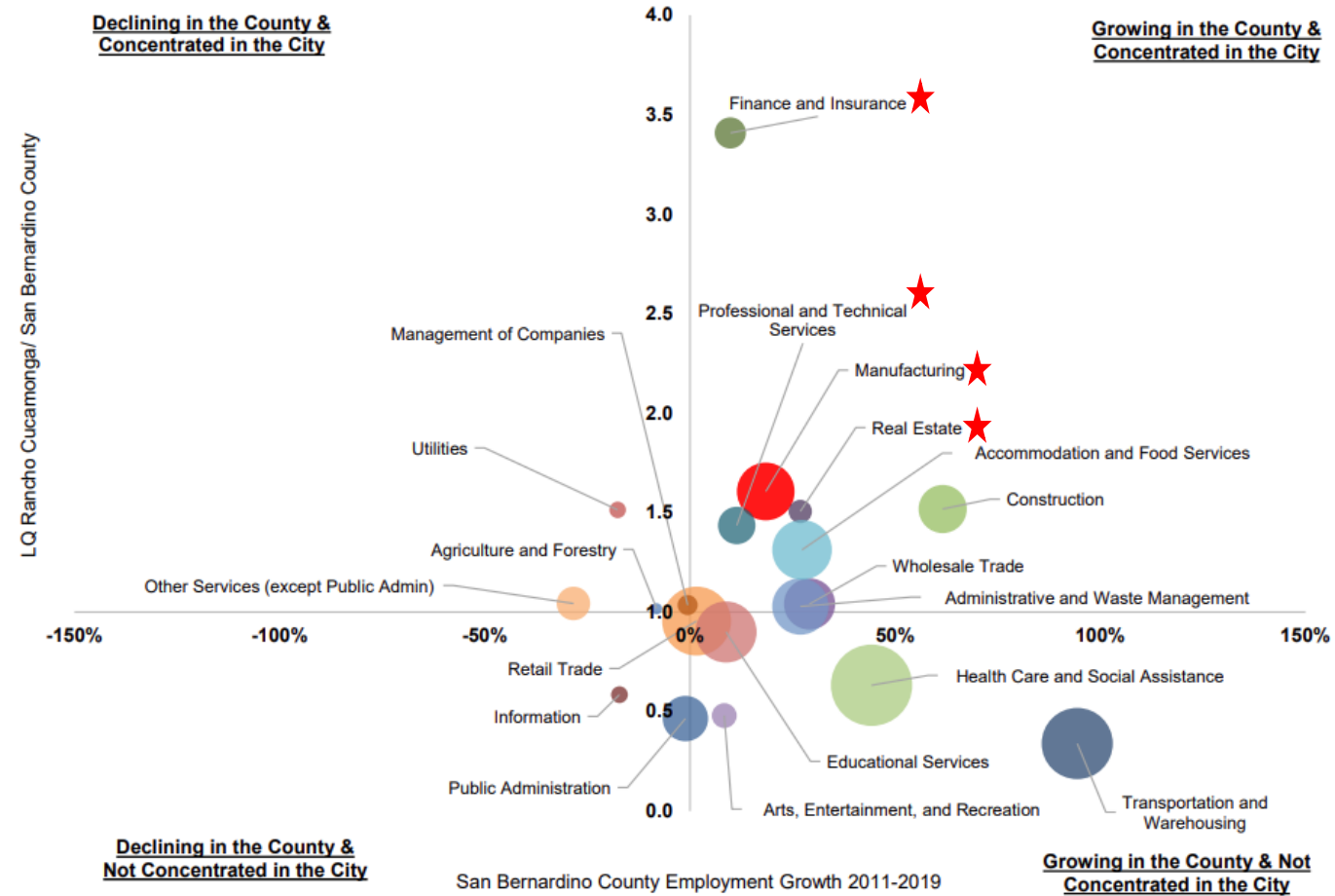
Expand Retail, Entertainment, and Hospitality

CITY OF RANCHO CUCAMONGA
Economic Development Strategy | 2023



Industry Concentration and Growth

Figure 25: Industries by Concentration in Rancho Cucamonga and Growth in San Bernardino County



Note: The size of the dot reflects the number of jobs per industry sector.

Source: U.S. Census Bureau, LEHD, 2011, 2019.

Target Industries



Advanced
Manufacturing



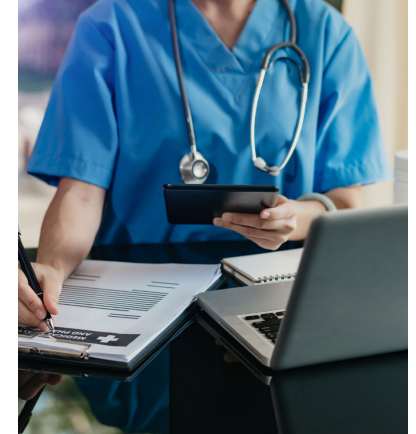
Medical
Manufacturing



Food and
Beverage
Manufacturing



Finance,
Insurance and
Real Estate



Professional and
Medical Services



RANCHO
CUCAMONGA

Thank you

